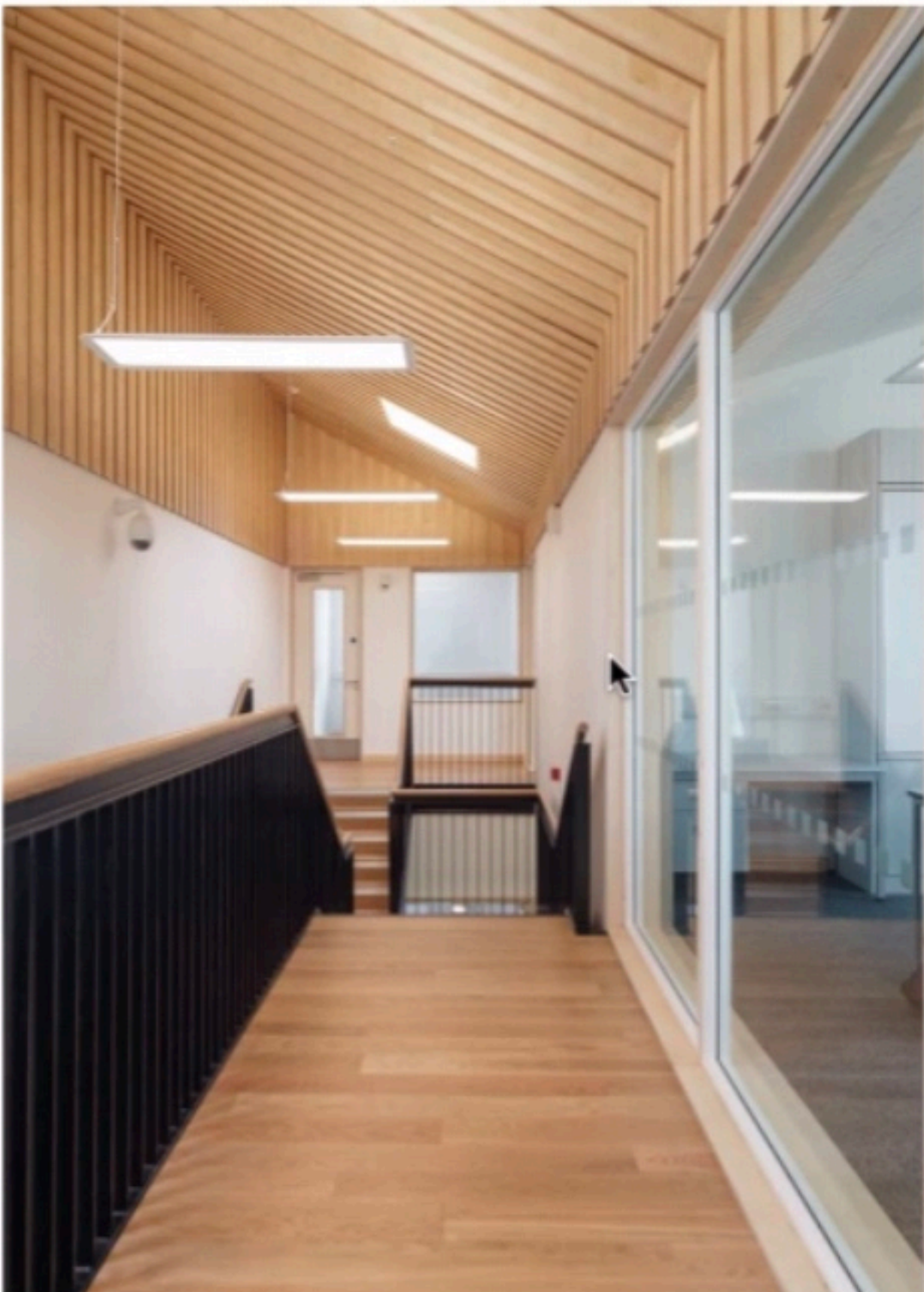


1.1 O'DonnellBrown Introduction

Founded in 2013, by Jennifer O'Donnell and Sam Brown, we established our practice with projects for London Borough of Tower Hamlets, both as in-house and external consultants. These early projects taught us how to work with tight budgets, turning poorly built schools into inspiring and sustainable teaching spaces. They taught us how to look beyond a brief, traditional modes of practice and the studio, to build relationships which empower.

1. Swanlea Sixth Form
2. Swanlea Sixth Form
3. Seven Mills Primary School



2.1 Conservation Area & Listed Buildings

Leith has a unique and complex architectural character that makes it distinctive and clearly identifiable within the context of Edinburgh. The Conservation Area has at its centre an important historical harbour town with its origins in the 12th Century. The architectural character of the Conservation Area derives from Leith's history, both as a port and an independent burgh, which imbue its individual architectural elements with a deeply rooted significance. Despite having lost most of its medieval buildings, Leith provides an excellent example of a small 19th century provincial town containing architecture which displays a rightness and fitness of scale (grand but not intimidating) and uniformly high quality of materials, detailing and design which have a unique significance in the context of Scottish architectural history. The historical and architectural importance of the Leith Conservation Area is reflected in the concentration of Statutorily Listed Buildings in the area: approximately 400 buildings are included on the Statutory List [32, Category A; 243, Category B and 122, Category C(S)].

Leith Conservation Area Character Appraisal, page 10

- Category A Listed
- Category B Listed
- Category C Listed



2.2 Historic Context

1. The Shore
2. The King's Work, on the corner of Shore and Bernard Street
3. Lamb's House, on the corner of Water Street and Burgess Street
4. Donaldson's Warehouses, now a residential development, on Carpet Lane



The character of the Conservation Area derives from Leith's history both as a port and an independent burgh. Several fine Georgian and Victorian warehouses survive, some now converted for residential or office use. A rich mixture of civic buildings and mercantile architecture survives particularly at Bernard Street and The Shore. Significant earlier buildings include Lamb's House and St Ninian's Manse (both early 17th Century). The present street pattern of The Shore area closely follows that of the historic town.

Leith Conservation Area Character Appraisal, page 5

2.4 Historic Development

1. Lamb's House, 1954
2. Lamb's House from Water Street, 1959
3. Water Street, 1970
4. Waters Close, 2022



The adjacent images demonstrate the historic development of the area around the site.

1. View looking north-west towards Lamb's House in 1954, and showing the tight street pattern within which the building was seen at this time. Four storey buildings adjoining to the rear of Lamb's House can be seen at the right hand edge of the image, extending across the area of the Site.
2. View looking north towards Lamb's House from Water Street in 1959. Prior to clearance of the adjacent buildings to the south-west and south, Lamb's House was situated within a more enclosed area of narrow streets.
3. View looking east along Waters Close today showing the narrow close enclosed by tall buildings, which originally extended past Lamb's House as far as Water Street. Lamb's House would originally have been experienced as one side of this narrow close.
4. View looking north along Water Street towards Lamb's House, taken in 1970. The extension to the south-west of Lamb's House which truncated the course of Waters Close can be seen. Beyond Lamb's House the raised connection between the warehouse (the Site) and the historic warehouse on the eastern side of Water Street can also be seen.

2.6 Architectural and Historic Interest of Lamb's House

1. View over newly formed gardens from new build pavilion structure
2. Front elevation of Lamb's House from Burgess Street, with new extension visible on left
3. View of new build pavilion from newly formed gardens



Lamb's House, which is of probable early 17th century date, has been subject to later 18th century remodelling, restoration works by Robert Hurd & Partners in 1959-61 and more recent refurbishment works, including extensions, by Groves Raines Architects in the early 21st century. The building is a three-storey and garret asymmetrical rectangular plan merchant's house. The building is of harled rubble with exposed dressings including rounded or chamfered arises to the original windows and has crowstepped gables and a steep pitched pantiled roof. A two-storey extension at the western edge of the building, the garden pavilion building, and enclosing garden boundary wall were all added as part of the 21st century alterations to the building.

The building is of architectural interest as one of the largest and most architecturally important early 17th century merchant's houses in Scotland. The building incorporates traditional architectural features including harled walls, corbels, asymmetrical gables, crowsteps, and windows with fixed leaded upper lights with shutters below.

Mary Queen of Scots, when landing in Leith in 1561, is known to have "stayed for an hour at Andw Lamb's hous"²; although it is believed that the extant building post-dates this visit by Mary Queen of Scots, the building nonetheless derives some limited local historic interest from this supposed association.

3.3 Existing Building

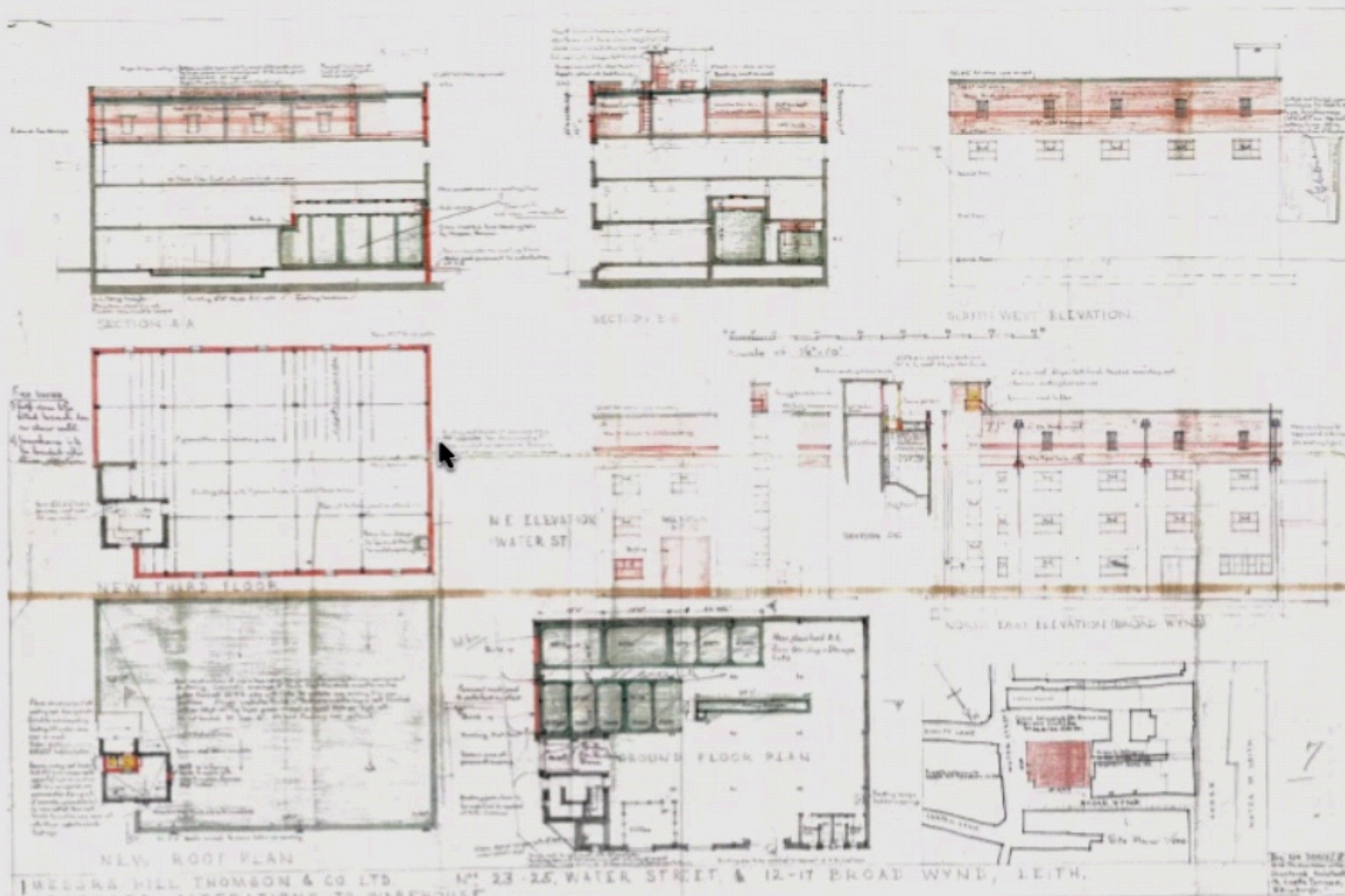
1. View of front elevation from Maritime Court
2. Internal view of level 02
3. View looking North along Water Street
4. Internal view of level 00



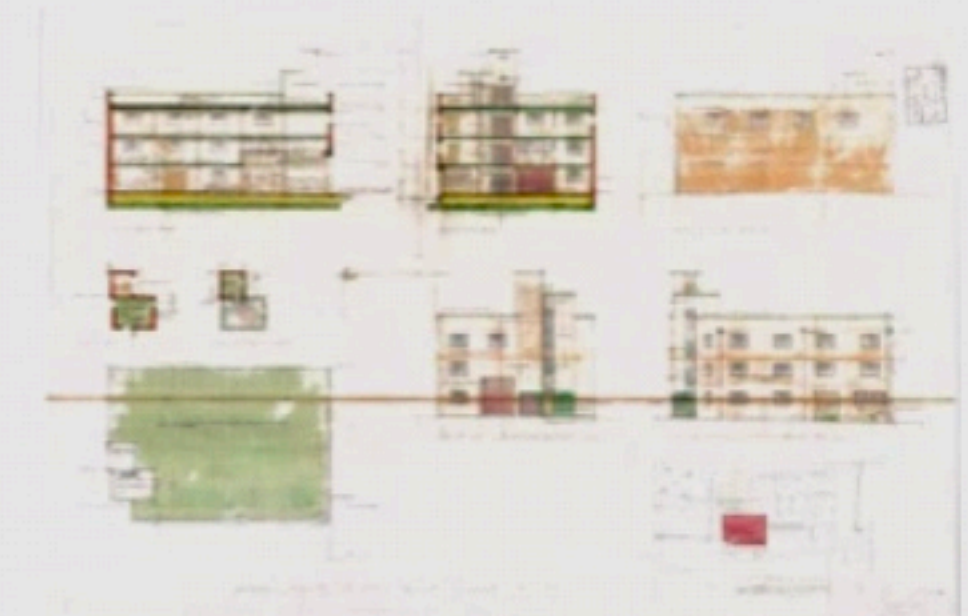
The existing red brick, steel framed warehouse built in the late 1950s, is an example of Leith's industrial character, with its materiality marrying with the neighbouring schemes within the area. Sitting at 4 storeys, the building is a similar height to, or lower than, its surrounding context .

3.4 Archive Drawings

1. 1961 Building Warrant drawings



Archive drawings show the current building at 23 Water Street was constructed in 1957, with 3 storeys.

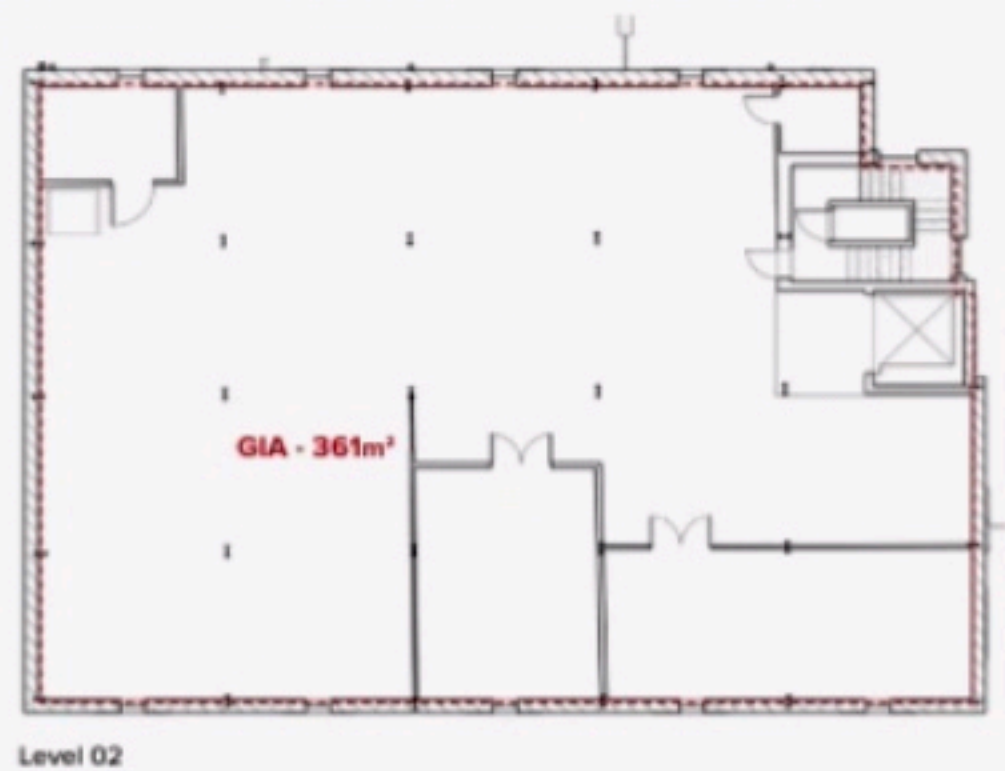
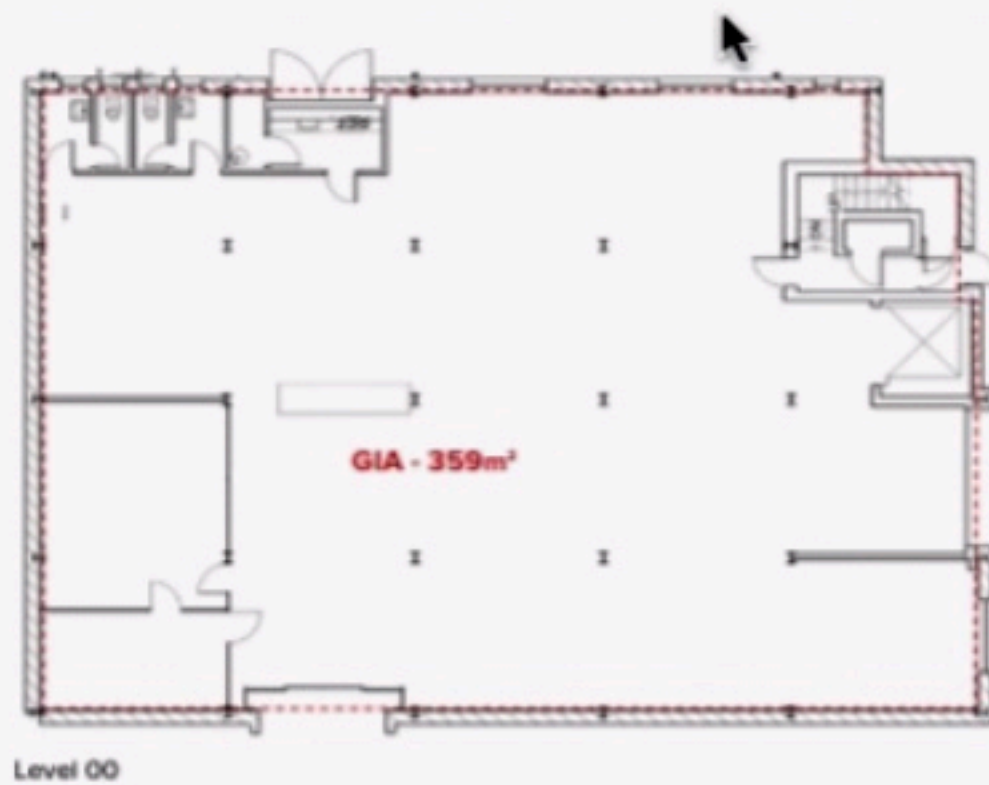
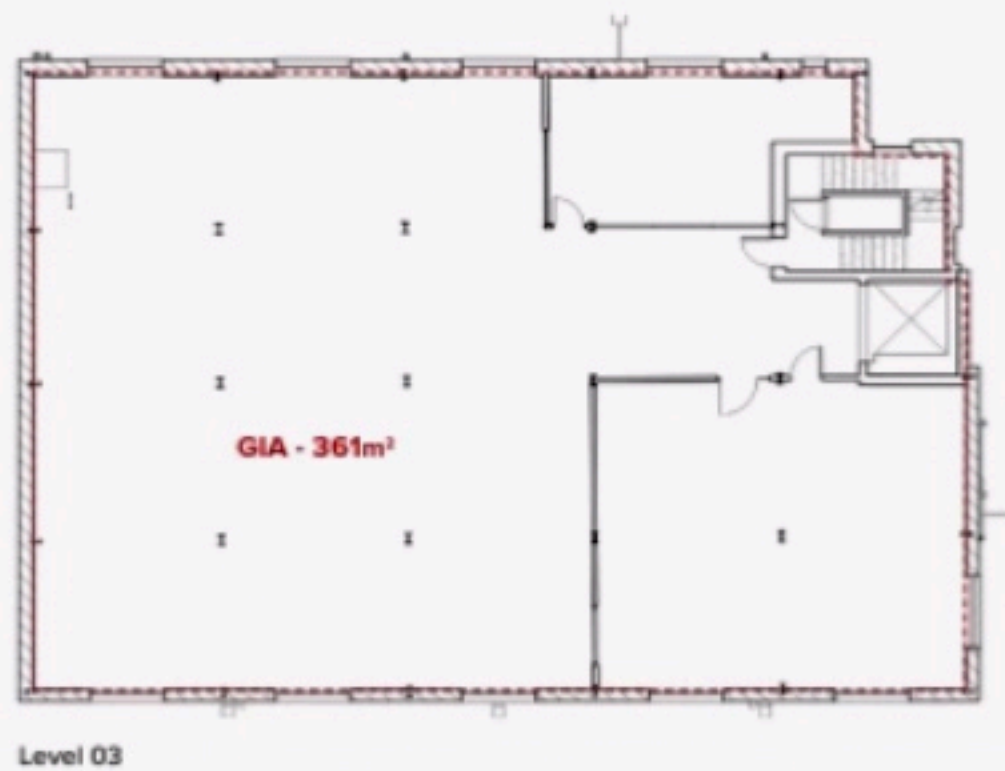
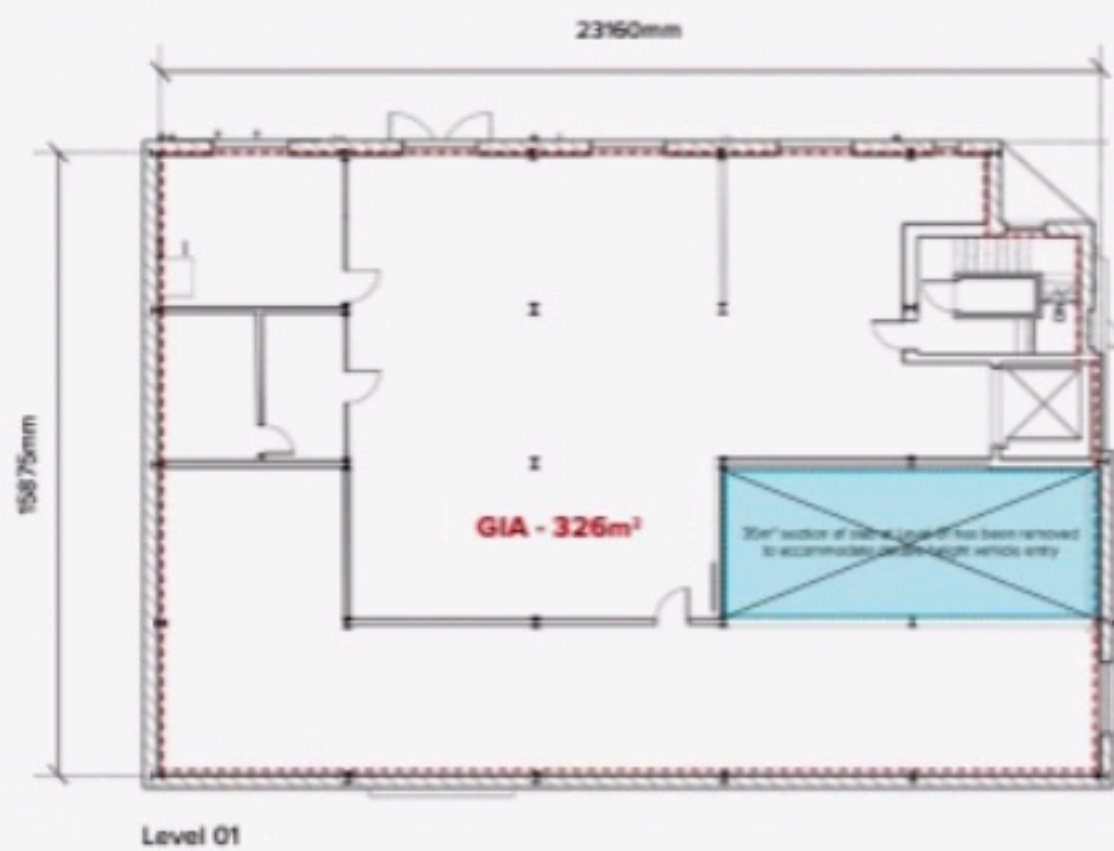


The building was later extended to add a fourth storey in 1961. Historic maps show in 1971, the building was connected to a warehouse in Maritime Court, now demolished, via a high level bridge.



1971, National Grid, 1:25000

3.5 Existing Plans



The adjacent floor plans have been taken from the measured building survey.

Schedule of Accommodation

Existing GIA	
Level	GIA (m²)
00	359
01*	326
02	361
03	361
Total GIA	1407

*Area accounts for existing section of removed floor

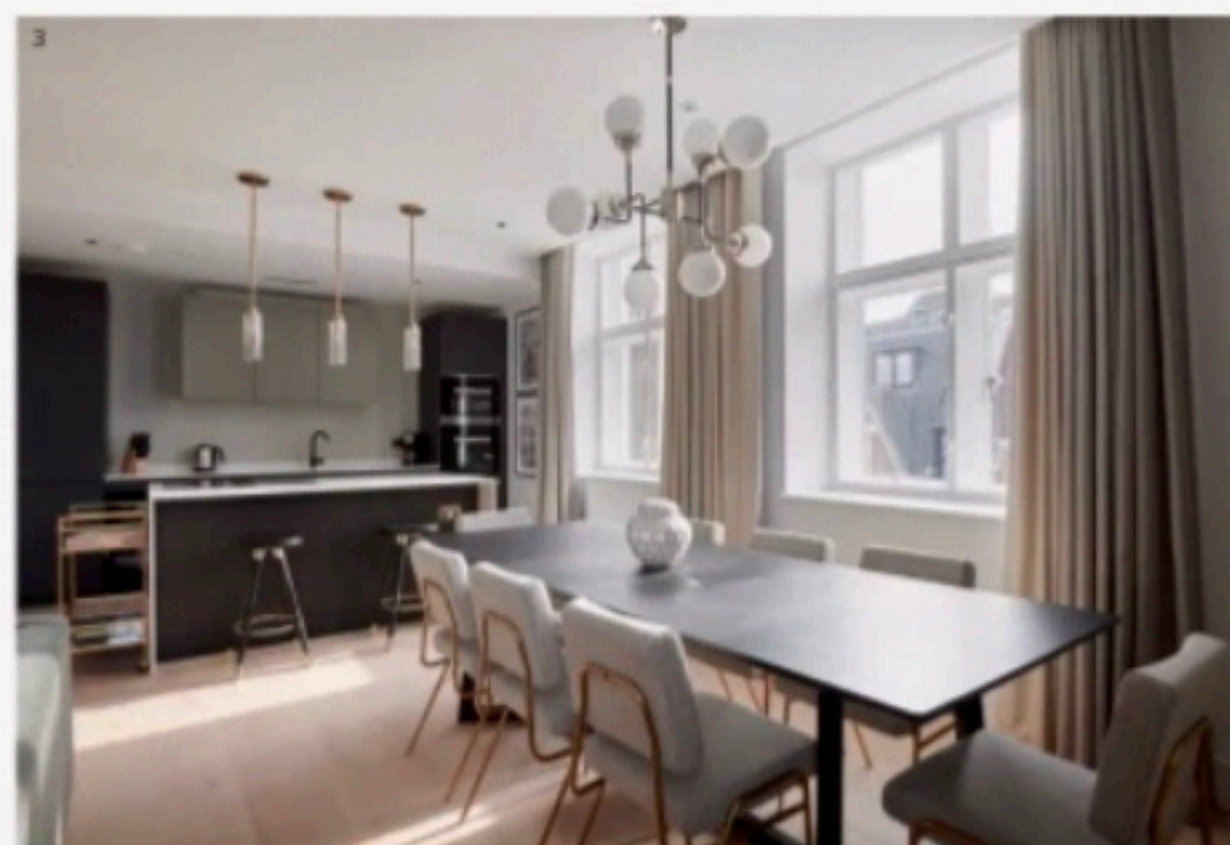
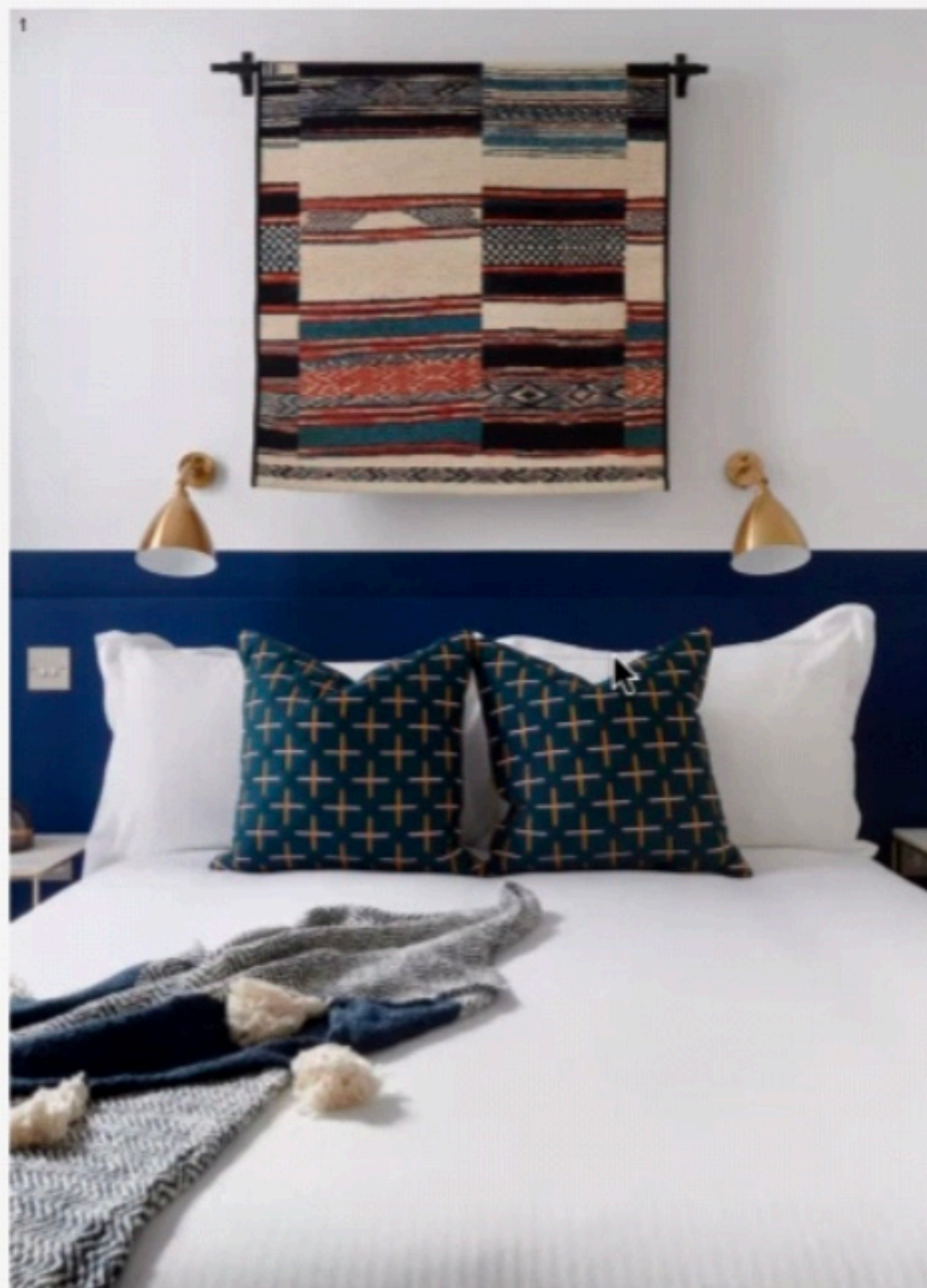
Do not scale this drawing. All dimensions and areas to be checked on site.

The site plan shows the 'EXISTING BUILDING' as a large, irregularly shaped structure. To its north is an 'ADJOINING BUILDING 2.5 STOREYS, STEPPING UP TO 3 ON BROAD WYND, REACHING 7 ON CORNER OF BROAD WYND AND SHORE'. To the west is a '2.5 STOREYS' building. To the east is a 'SINGLE STOREY' building and a 'RESIDENTIAL BUILDING 5 STOREYS'. To the south is a 'CAT. A LISTED LAMB'S HOUSE 5 STOREYS (4 + 1 NO. ATTIC LEVEL)'. A 'CAR PARK' is located to the southeast. The plan also shows 'BROAD WYND' to the north, 'WATER STREET' to the east, and 'EXISTING SIDEWAY HALL' to the west. Dimensions include 22.7m, 9.7m, 8.4m, and 12.6m. Other labels include 'NO RIGHT OF ACCESS TO EXISTING GATE', 'NO WINDOWS', and 'WINDOWS'.

The building is currently used for commercial purposes and is occupied by a sound engineering company. The main point of access is through the service yard to the south, with a secondary vehicular access point from the east from Water Street. An additional existing external access point is to the north from Broad Wynd.

4.1 Aparthotel Change of Use

1. Sonder Aparthotel, Edgware Road, London
2. Sonder Aparthotel, bar
3. Sonder Aparthotel, example living area layout



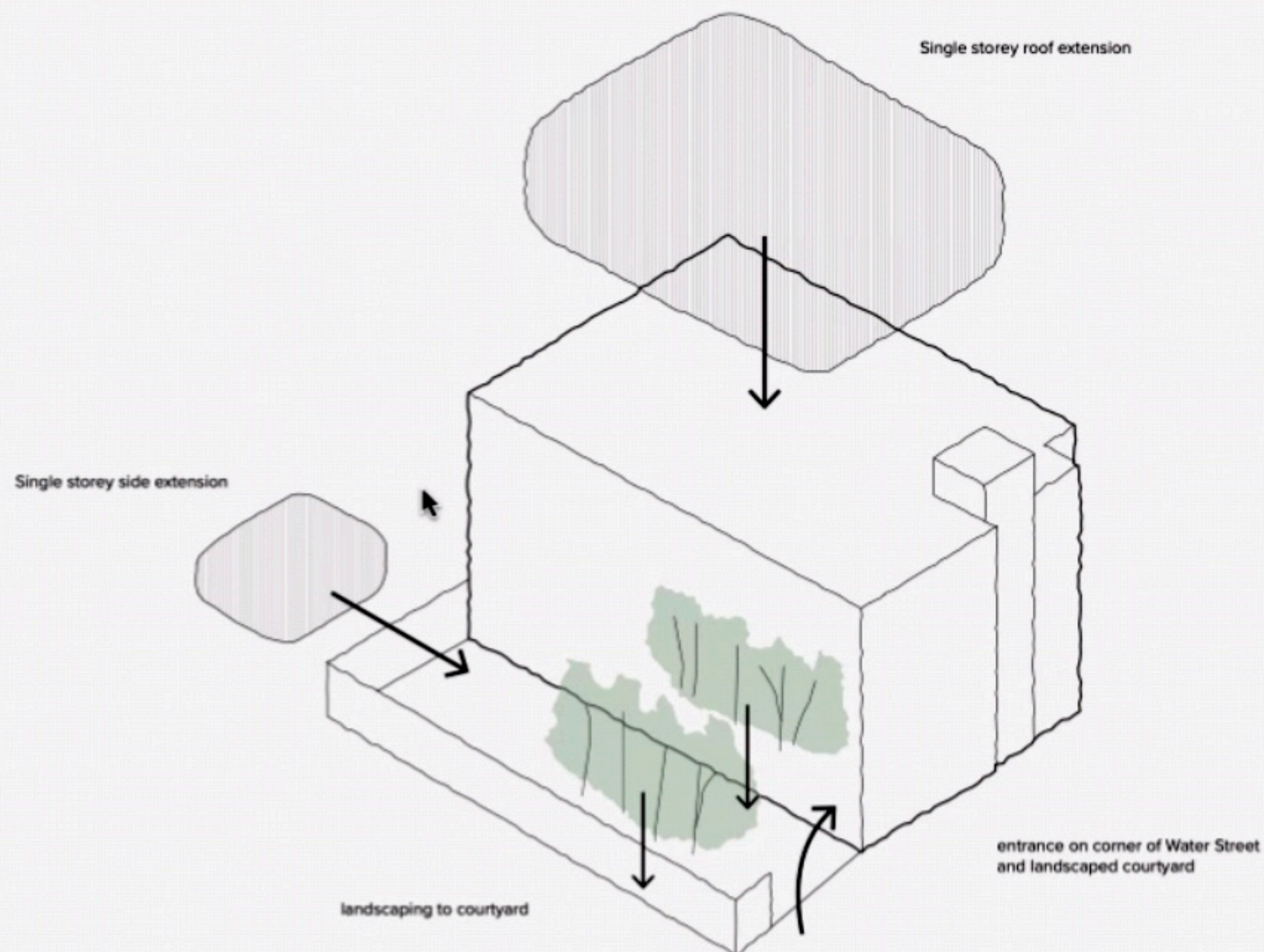
This project will convert the existing warehouse building into serviced apartments with supporting services and facilities. The adjacent photographs are examples of a recent aparthotel conversion which achieves really light bright and airy spaces.

4.3 Key Moves

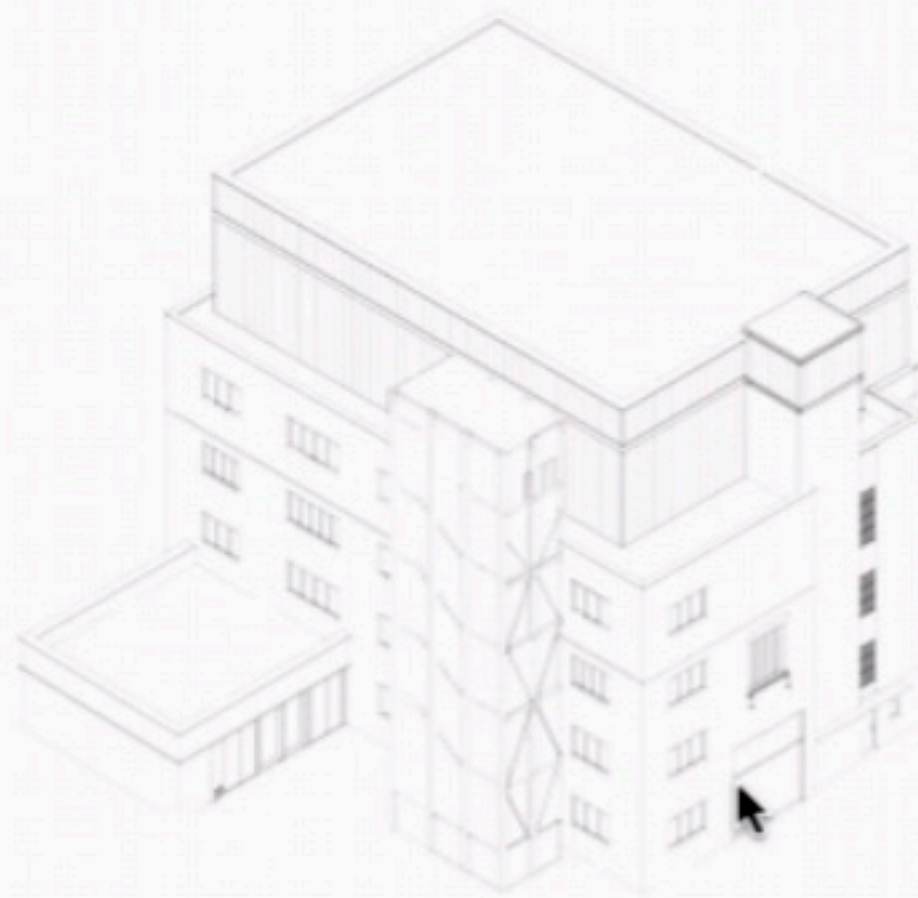
As we began the design process, we considered the following key moves to utilise and enhance the site's existing architecture:

- New roof extension to sit above
- Single storey side extension to courtyard
- Landscaping to courtyard space

1. Key moves diagram



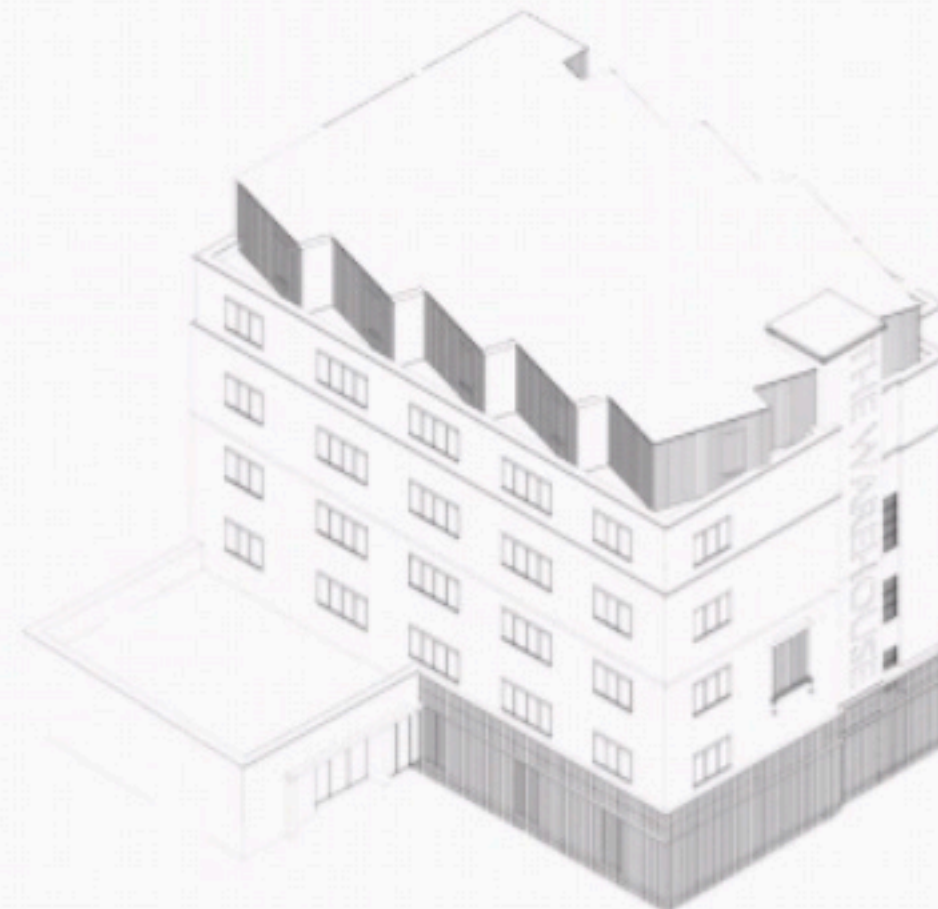
4.4 Pre-Application Design Process



Pre-Application Meeting 01

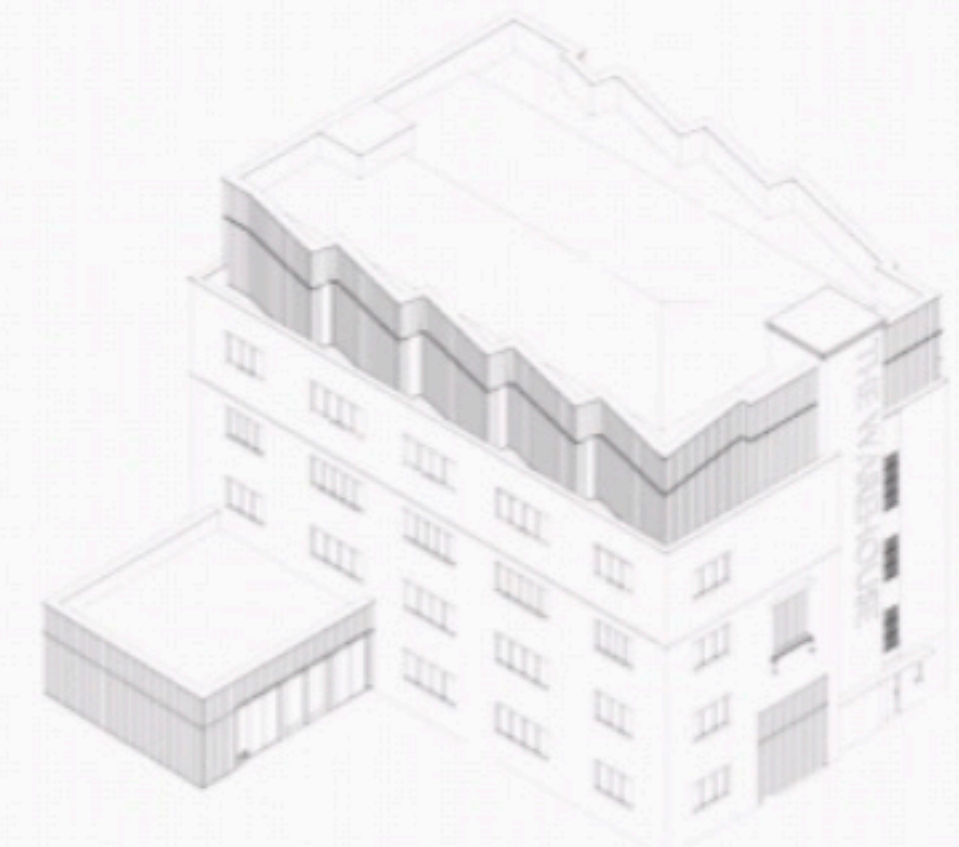
At the first pre-application meeting, the proposal explored adding 2 no. storeys to the roof, a single storey side extension and an external stair 'tower' to the south side of the building.

Following this meeting, the proposed stair tower was removed and the design of the two storey roof extension was developed.



Pre-Application Meeting 02

The proposal presented during the second pre-app meeting saw roof extension comprising of 1 no. additional storey of brick to match existing, following the example of the 1961 extension, and 1 no. storey of 'folded' lightweight metal cladding above. A single storey side extension was proposed to southern courtyard, tying into a lightweight metal 'wrap' across ground floor to unify building aesthetic and enhance people's experience at street level.



Pre-Application Meeting 03

Following the second meeting, we have made a number of changes to the design following planning feedback. Now proposed is a single storey roof extension, finished in metal cladding, aligning with the single storey side extension. The ground floor 'wrap' has been removed, exposing the existing brick to the ground floor elevation.

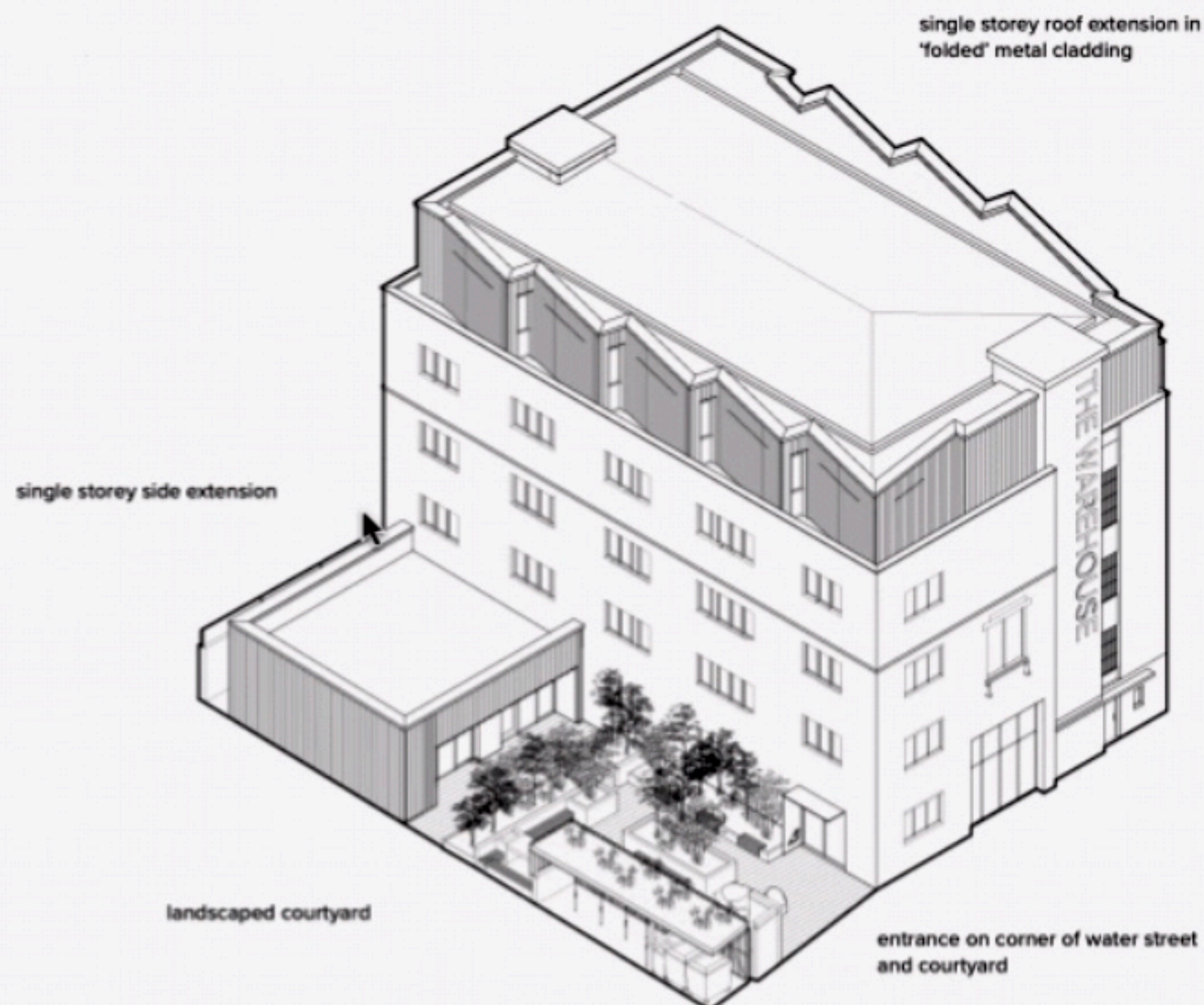
4.5 Design Strategy

The adjacent axonometric describes the key moves as proposed to the existing warehouse building, including:

- Single storey roof extension
- Single storey side extension
- Landscaping to courtyard

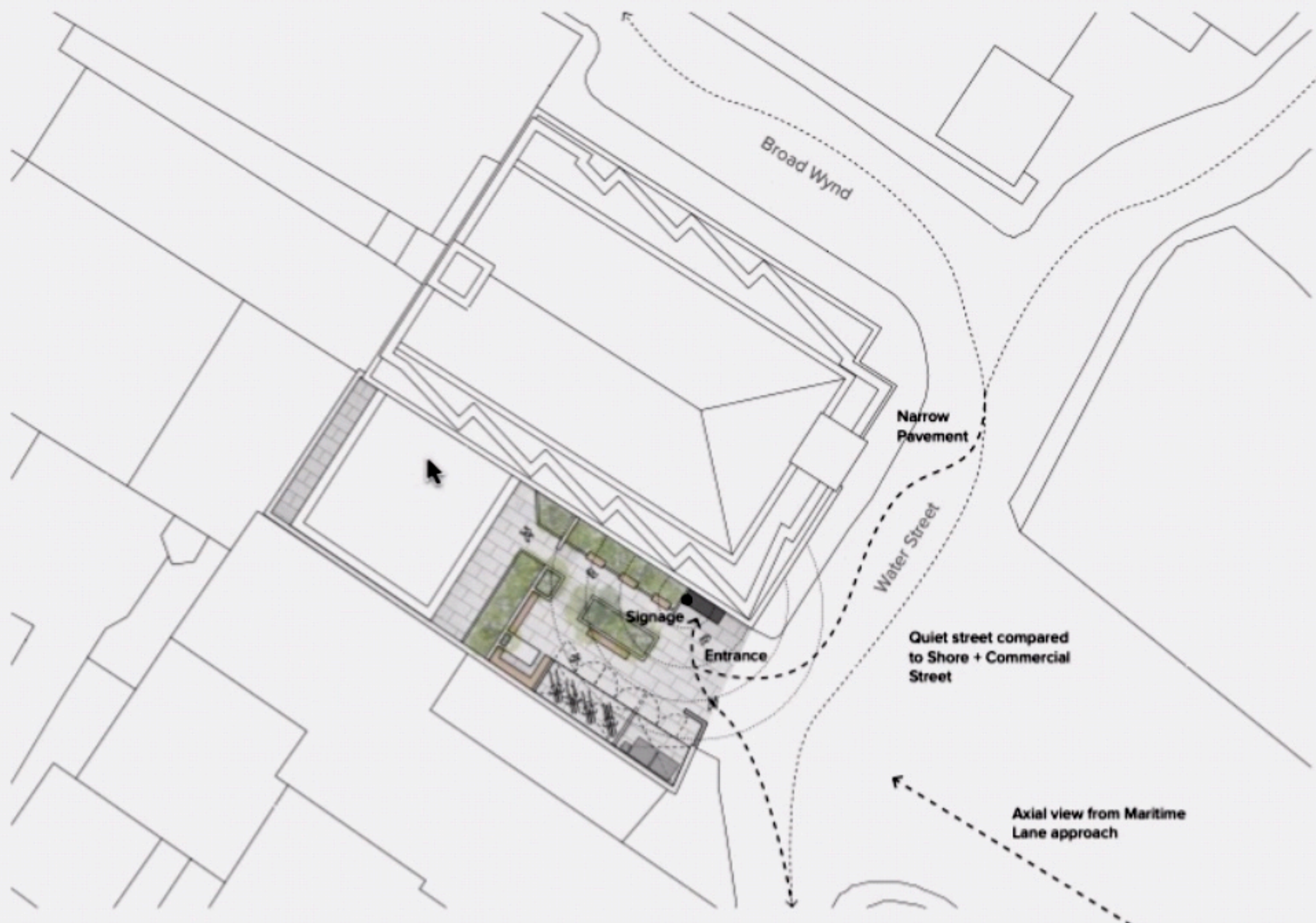
Following the previous meeting, the second roof extension storey has been removed to lower the overall building height, as well as the metal 'wrap' to the ground floor elevation, in response to the planning feedback received.

1. Key moves diagram



4.6 Layout Diagram

1. Active frontage diagram

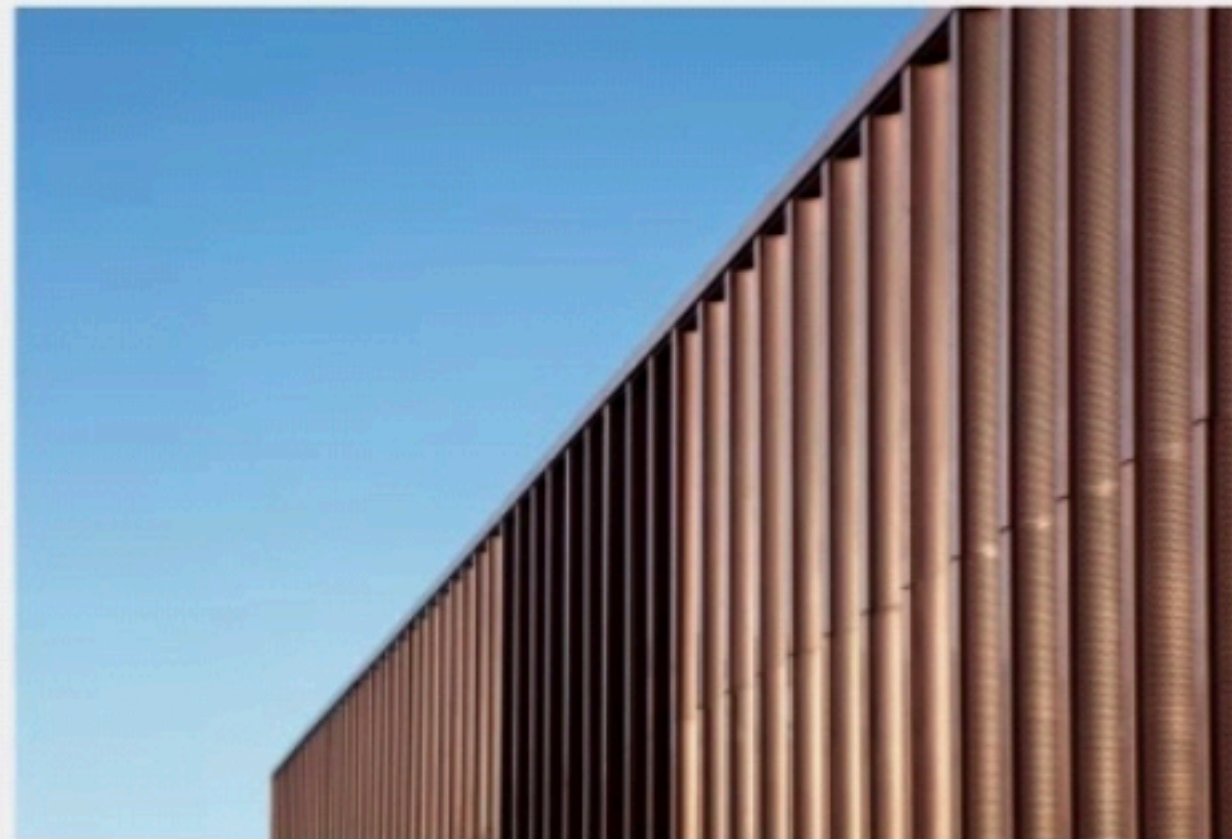


In comparison to the Shore, Water Street is a relatively quiet street in terms of both traffic and footfall, therefore a landscaped courtyard presents an opportunity for guests to progress through to enter the building and gather, rather than on the narrow pavement to the front of the building.

Wayfinding will be provided to the courtyard entrance to guide hotel guests towards to reception space.

4.7 Precedent Images

1. New Museum for Western Australia - Hassell + CMA
2. Aberdeen Art Gallery - Hoskins Architects
3. La Rapida - Studio Andreani Architects
4. Scotland HQ - Hoskins Architects



These precedent images describe the intended look and feel of the proposed additions to the warehouse building, aligning with its industrial character.

4.8 Proposed Elevations

Proposed elevations, drawn at 1:250 @ A3, describing height and materiality of existing building and proposed additions.



South-East Elevation



South-West Elevation



North-East Elevation

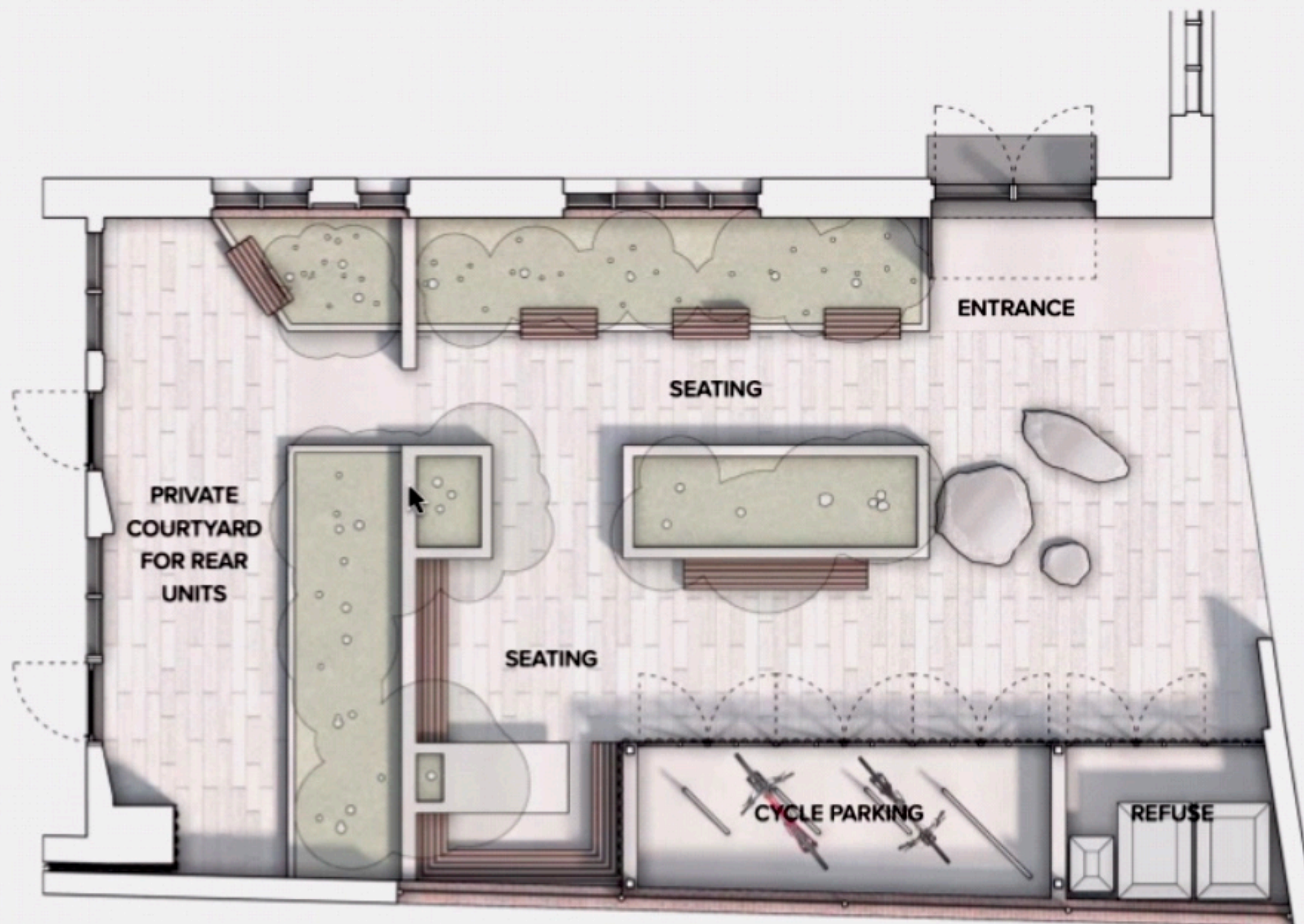
4.9 3D View: Maritime Court

3D view of proposal as seen from Maritime Lane to the east. The image describes the single storey roof extension constructed with a folded metal design. This material is also used to the single storey side extension, as well as to the existing garage door opening. The existing finish to the east stair tower is painted dark grey to align with the proposed aesthetic.



5.1 Landscaped Courtyard Plan

1. Landscaping Plan



Following feedback received after previous pre-application discussions, a landscaped courtyard is proposed to the existing yard space to the southern edge of the building.

Mirroring the external space to the southern side of Lamb's House, this space not only provides external gathering space for the hotel guests, but also creates a buffered edge to both the Warehouse building, and to the external space to the northern edge of Lamb's House.

The space includes space for cycle parking, seating and concealed bin store.

5.1 Landscaped Courtyard Plan

1. Landscaping Plan



Following feedback received after previous pre-application discussions, a landscaped courtyard is proposed to the existing yard space to the southern edge of the building.

Mirroring the external space to the southern side of Lamb's House, this space not only provides external gathering space for the hotel guests, but also creates a buffered edge to both the Warehouse building, and to the external space to the northern edge of Lamb's House.

The space includes space for cycle parking, seating and concealed bin store.

5.2 References

1. Series of precedent images describing landscaping look and feel aspirations



The adjacent images describe the design references and intentions for the landscaped courtyard.

To align with the existing industrial character of the existing building, neutral paving combined with planted beds are proposed to the space, creating a buffer between external gathering space and elevation of the building, as well as external space to the neighbouring property.

5.3 3D View: Water Street

1. Courtyard view from Water Street



Visualisation describing view from Water Street of entrance and landscaped courtyard